

# SITE PLAN FOR CHESTERFIELD AVENUE DUPLEX VIRGINIA BEACH, VIRGINIA

EXISTING	NEW

## GENERAL NOTES:

- AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL CONTACT MISS UTILITIES OF VA AT 811 OR ONLINE TO HAVE UTILITIES MARKED.
- THE OWNER/DEVELOPER IS RESPONSIBLE FOR REPLACING OR REPAIRING ANY AND ALL DAMAGES TO DRIVEWAYS, ROADS, SIDEWALKS, AND OTHER PUBLIC OR PRIVATE IMPROVEMENTS AND ABOVE AND BELOW GROUND UTILITIES DAMAGED DURING CONSTRUCTION, MILLING AND/OR OVERLAY OF THE STREET MAY BE REQUIRED AT THE DIRECTION OF THE CITY INSPECTOR.
- OPIN(S): 1489-47-2971-0000
- THIS LOT OR PARCEL WAS CREATED BY PLAT RECORDED AT: MB 5, PG 197
- ZONING: RSD
- PROPOSED NUMBER OF DWELLING UNITS = 2
- BUILDING SETBACKS:  
FRONT YARD SETBACK = 25 FT  
SIDE YARD SETBACK = 10 FT  
REAR YARD SETBACK = 10 FT  
WHEN ADJACENT TO A STREET
- PROPOSED ERU = 2 PER LOT
- EXISTING ERU = 0
- MAXIMUM BUILDING HEIGHT = 35'
- MAXIMUM LOT COVERAGE = 35%
- SOIL TYPE: FINE POORLY GRADED SAND (SP)
- EXISTING USE: UNDEVELOPED
- PROPOSED USE: RESIDENTIAL DUPLEX
- STORMWATER CRITERIA: IB
- ACUZ NOTE: THIS SITE LIES WITHIN AIRCRAFT ACCIDENT POTENTIAL ZONE <65 AND NOISE ZONE N/A.
- THE SITE IS LOCATED IN THIS MAJOR WATERSHED(S): CHESAPEAKE BAY
- LOT GRADING STATEMENT: THE LOT GRADING ON THIS PLAN IS IN ACCORDANCE WITH THE LATEST SUBDIVISION CONSTRUCTION PLAN SUBMITTED TO AND APPROVED BY THE DIRECTOR OF PLANNING OR HIS DESIGNEE ON 12/17/18.
- LOT AREA: 8,167 SQ.FT. 0.187 ACRES  
PRE DEVELOPMENT IMPERVIOUS AREA (SITE): 0.0 SQ.FT. / 0.00%  
POST DEVELOPMENT IMPERVIOUS AREA (SITE): 3,810 SQ.FT. / 46.65%  
HOUSE AREA = 3,671 SQ.FT. (TOTAL 2 UNITS (2 FLOORS))  
CONCRETE = 1,472 SQ.FT.  
TOTAL IMPERVIOUS (SITE) = 3,810 SQ.FT. OR 0.087 ACRES  
TOTAL NEW IMPERVIOUS (SITE) = 3,810 SQ.FT. OR 0.087 ACRES  
PROPOSED NEW IMPERVIOUS AREA (SITE) AS A PERCENTAGE OF THE AREA OF SITE OUTSIDE WATER, MARSH AND WETLANDS: 46.65%  
LOT COVERAGE: 27%  
AREA OF LAND DISTURBANCE: 8,167 SQ.FT. OR 0.187 ACRES
- REQUIRED RESIDENTIAL TREE CANOPY, PER CITY CODE APPENDIX E, TREE PLANTING, PRESERVATION AND REPLACEMENT: 600 SQ.FT.
- EXISTING TREE CANOPY AREA TO REMAIN = 0 SQ.FT.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, AND AS REQUIRED BY THE CITY'S INSPECTORS.
- TOPSOIL, SEED AND FERTILIZE ALL AREAS WITHIN THE PROJECT LIMITS NOT OCCUPIED BY STRUCTURES, PAVEMENT, SIDEWALK, ETC. MULCHING AND SEEDING SHALL BE CONSISTENT WITH VIRGINIA EROSION & SEDIMENT CONTROL HANDBOOK STANDARDS AND SPECIFICATIONS.
- TREES AND VEGETATION LOCATED IN THE CITY RIGHT OF WAY ARE CITY PROPERTY AND CANNOT BE CUT, DAMAGED OR REMOVED WITHOUT PERMISSION FROM THE DIRECTOR OF PARKS AND RECREATION/LANDSCAPE MANAGEMENT OFFICE. CALL (757) 385-4461 FOR ASSISTANCE. REMOVAL WITHOUT REQUIRED PERMISSION IS A PUNISHABLE CLASS 3 MISDEMEANOR PER CITY CODE ARTICLE 1, SECTION 23-39.
- ALL TREES IN THE CITY RIGHT OF WAY AND ON SITE TO REMAIN ARE REQUIRED TO HAVE TREE PROTECTION IN COMPLIANCE WITH THE VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ) SPECIFICATIONS AND STANDARDS.
- WHETHER A STORMWATER MANAGEMENT PLAN IS OR IS NOT REQUIRED, WHERE DRAINAGE FACILITIES (SWMS) ARE NECESSARY DUE TO INADEQUACY OF THE DOWNSTREAM SYSTEM, THE DRAINAGE FACILITIES ARE REVIEWED AND APPROVED AS SHOWN HEREON. ADDITIONAL SEPARATE DRAINAGE CALCULATIONS MAY BE SUBMITTED AND ARE CONSIDERED A PART OF THIS PLAN.
- LOWEST FINISHED FLOOR NOTE: NEW CONSTRUCTION OR SUBSTANTIAL IMPROVEMENT OF ANY RESIDENTIAL STRUCTURE OR MANUFACTURED HOME LOWEST PROPOSED FLOOR ELEVATION, INCLUDING BASEMENTS, OR BOTTOM OF LOWEST STRUCTURAL MEMBER, WHICHEVER IS APPLICABLE, IS AT LEAST TWO (2) FEET ABOVE THE BASE FLOOD LEVEL.
- THE CONTRACTOR SHALL PROVIDE WRITTEN NOTIFICATION TO ALL OWNERS AND RESIDENTS OF THE PROPERTY ADJACENT TO A DEVELOPMENT OR OFF-SITE IMPROVEMENTS 30-DAYS PRIOR TO THE COMMENCEMENT OF WORK UNLESS OTHERWISE DIRECTED BY THE CITY.
- AFTER OBTAINING THE LAND DISTURBING PERMIT AND AT LEAST 48 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITY, THE CONTRACTOR SHALL CONTACT PLANNING/CIVIL INSPECTIONS AT 385-4558 TO SCHEDULE A PRE-CONSTRUCTION MEETING. FAILURE TO CONTACT PLANNING/CIVIL INSPECTIONS PRIOR TO ANY LAND DISTURBING ACTIVITY MAY RESULT IN A STOP WORK ORDER OR OTHER LEGAL ACTION.
- ANY AND ALL MATERIALS OR DEBRIS TRACKED ONTO A PUBLIC OR PRIVATE ROAD SURFACE WILL BE REMOVED AT THE END OF EACH DAY. SEDIMENT WILL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND WILL BE TRANSPORTED TO A SEDIMENT CONTROLLED DISPOSAL AREA.

## SITE DATA

DEVELOPER: McLESKEY & ASSOCIATES  
2859 VIRGINIA BEACH BOULEVARD  
SUITE 106  
VIRGINIA BEACH, VA 23452  
PHONE: (757) 340-1251  
ATTN: CHRIS WOOD  
EMAIL: CHRIS@MCLESKEY.COM

SITE LOCATION: 3757 CHESTERFIELD AVENUE  
VIRGINIA BEACH, VA 23455

THE UNDERSIGNED HEREBY CERTIFIES THAT ALL LAND CLEARING, CONSTRUCTION, DEVELOPMENT ACTIVITY AND DRAINAGE SHALL BE PERFORMED IN ACCORDANCE WITH THE APPROVED STORM WATER MANAGEMENT PLAN.

*Chris Wood*  
APPLICANT/DEVELOPER SIGNATURE  
Vice President - Construction and Development  
TITLE

12/17/18 DATE

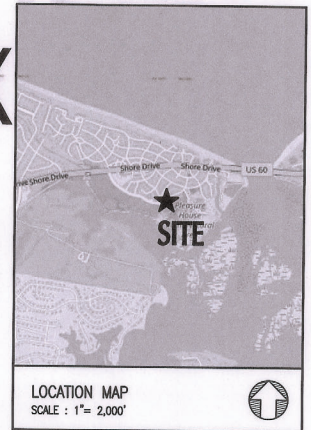
Chris Wood c/o Fwm Residential Rental Properties LLC NAME

ADDRESS: 2859 Virginia Beach Blvd, Suite 106  
Virginia Beach, VA 23451

TELEPHONE: 757-675-0779 (DAYTIME)

## SHEET INDEX

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CD101	DEMOLITION, EROSION & SEDIMENT CONTROL PLAN
CS101	LAYOUT AND UTILITY PLAN
CG101	GRADING AND DRAINAGE PLAN
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FOR USE BY THE CITY OF VIRGINIA BEACH FOR APPROVAL STAMPS

Development Plan Approval  
City of Virginia Beach

Planning/Development Services Center (DSC)

☒ Duplex Site Plan ☐ Multi-Lot Residential  
☒ Land Management Drainage Plan ☐ Single Family Site Plan in RFA

☐ Commercial Site Plan  
☐ Subdivision Construction Plan  
☐ Single Family Site Plan

The undersigned Consulting Firm agrees that the City of Virginia Beach and its representatives shall have the right to use these plans to complete any physical improvements the City deems necessary in the event the developer defaults in his/her obligations to complete these facilities as required by City Code. The undersigned Engineer also agrees that the City may use these plans for any purpose the City feels necessary in order to complete the project. The Design Professional Consulting Firm further agrees that the rights to use these plans shall be provided without cost to the City.

Name of entity (Consulting Firm): MSA, P.C. By: \_\_\_\_\_  
DOUGLAS M. WILL Date: 11/06/18  
(authorized signature)  
Title: PROJECT MANAGER  
Signature of Design Professional: \_\_\_\_\_ Date: 11/06/18

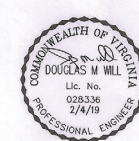
PLANNING DEPARTMENT  
RECEIVED  
FEB 19 2019  
PLN/Address Coordinator

CHESTERFIELD AVENUE DUPLEX  
C-001  
1 of 13 Sheets  
PROJ. NO.: 18023C



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Virginia Beach, VA 23462-3764  
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PLAN STATUS

DATE	INITIAL	DESCRIPTION
11/06/18	DMW	1ST CITY SUBMITTAL
2/4/19	DMW	2ND CITY SUBMITTAL

RECEIVED  
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PLN/Address Coordinator  
PLANNING DEPARTMENT

CHESTERFIELD AVENUE DUPLEX  
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# SHEET NOTES:

- 1 DRY SWALES AND EXTENDED DETENTION SHALL BE STABILIZED IMMEDIATELY UPON COMPLETION OF GRADING TO CONSTRUCT THEM.

# DEMOLITION KEYNOTES:

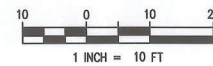
- 1 CLEAR AND GRUB TO LIMITS SHOWN
- 2 REMOVE TREE
- 3 SAW CUT PAVEMENT IN NEAT, STRAIGHT LINE (TYP)
- 4 PAVEMENT PATCH FOR UTILITY INSTALLATION, SAW CUT IN NEAT, STRAIGHT LINE
- 5 LIMITS OF DISTURBANCE

# EROSION CONTROL LEGEND

DESCRIPTION	SYMBOL
TEMPORARY SEEDING (VEC #3.31)	TS
PERMANENT SEEDING (VEC #3.32)	PS
SILT FENCE (VEC #3.05)	SF
TOP SOILING (VEC #3.30)	TO
CONSTRUCTION ENTRANCE (VEC #3.02)	CE
MULCHING (VEC #3.35)	MU
LIMITS OF DISTURBANCE	---
DENOTES DEMOLITION	X

# \*\*\* CAUTION \*\*\*

THE UTILITIES SHOWN ARE FOR CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION, SIZE, DIMENSION AND ELEVATION OF ALL UNDERGROUND UTILITIES. MSA, P.C. ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF BURIED UTILITIES SHOWN ON THE PLANS OR LACK THEREOF. THE CONTRACTOR IS RESPONSIBLE FOR HIRING A PROFESSIONAL SUBSURFACE UTILITY LOCATOR FOR FIELD VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES WITHIN THE LIMITS OF WORK. FOR MORE INFORMATION REGARDING THE LOCATION OF UNDERGROUND UTILITIES CALL MISS UTILITIES AT 1-800-552-7001 OR DIAL 811 IN VIRGINIA. ANY DISCREPANCIES IN REFERENCED HORIZONTAL LOCATIONS, ELEVATIONS, DIMENSIONS OR DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK. ANY DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.



VIRGINIA STATE PLANE COORDINATE SYSTEM,  
SOUTH ZONE, NAD 1983/1983 (HARN)

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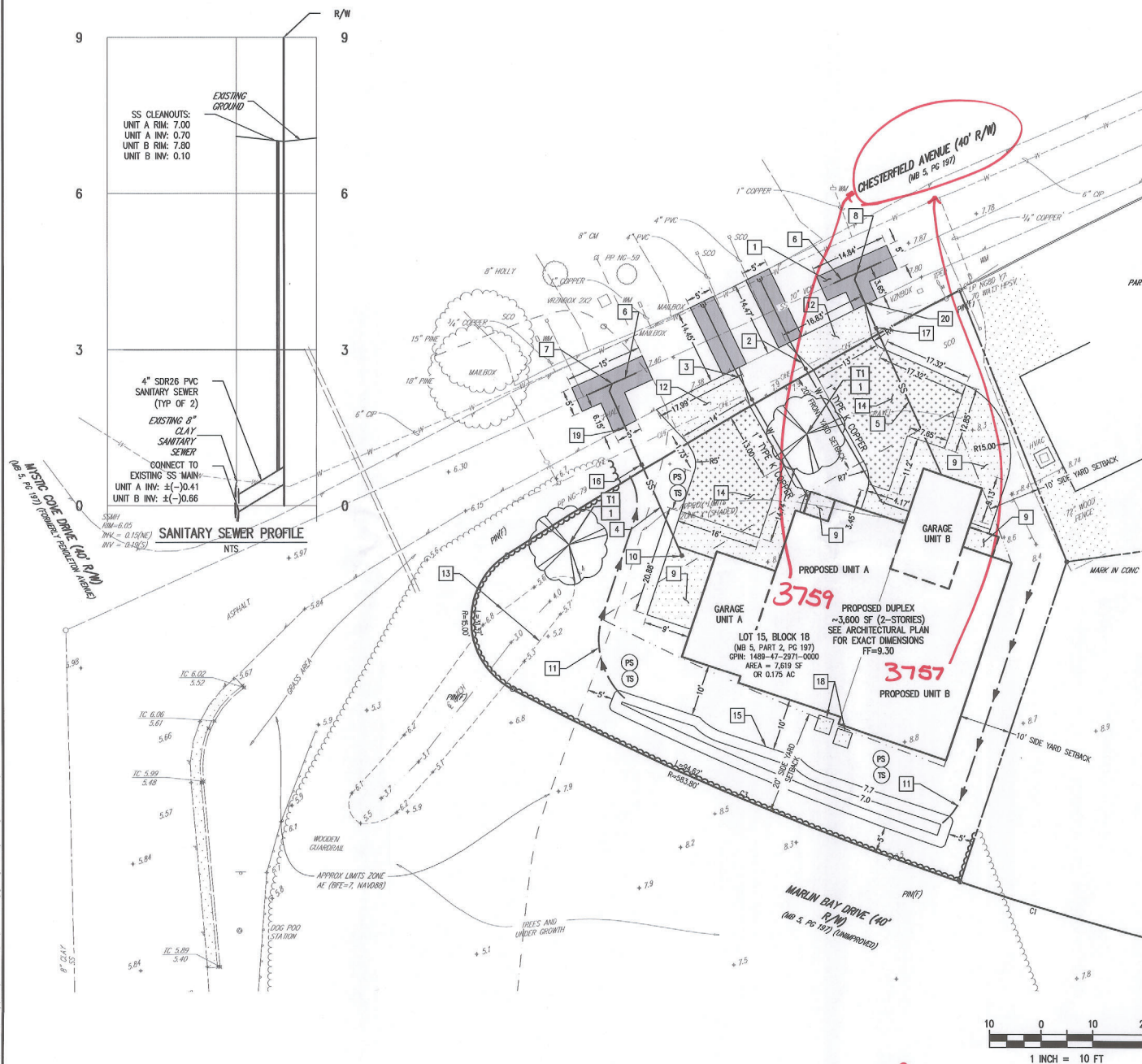
COMMONWEALTH OF VIRGINIA  
DOUGLAS M. WILLIAMS  
Lic. No. 0285356  
2/4/19  
PROFESSIONAL ENGINEER

DESIGNED	P.E.	DRAWN	P.E.	CHECKED	D.M.W.	APPROVED	D.M.W.	DATE	2/4/19

DEMOLITION, EROSION & SEDIMENT CONTROL PLAN  
of  
**CHESTERFIELD AVENUE DUPLEX**  
VIRGINIA BEACH

SHEET  
**CD101**  
7 of 13 Sheets  
SCALE: 1"=10'  
PROJ. NO.: 18023C

15" PINE  
18" PINE  
8" HOLLY  
1" COPPER  
4" PVC  
8" CM  
4" PVC  
9" SCOT  
10" VCP  
10" MAG  
GRAVEL AREA  
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- NEW WORK KEYNOTES:

ROOF LEADERS SHALL BE INSTALLED WITH LEAF SCREENS AS  
PRETREATMENT FOR SWM PRACTICES

**\*\*\* CAUTION \*\*\***

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LAYOUT AND UTILITY PLAN  
of  
CHESTERFIELD AVENUE DUPLEX

SHEET  
**CS101**  
8 of 13 Sheets